



Accurate

HOME INSPECTIONS

"Serving the Real Estate Community with Pride"

Property Inspection Report

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Property Inspection Report

Prepared for:

Walt & Lisa Eckhoff
943 Stillspring Ct.,
Vacaville, Ca
c/o
Jackie Plata
Plata Realty Group

Thank you for choosing **ACCURATE HOME INSPECTIONS** for your inspection needs. Our goal is to provide the most comprehensive report possible. We take great pride in our reports and welcome any questions and or comments.

Please feel free to contact our office with any questions or comments that you may have.

From all of us at **ACCURATE HOME INSPECTIONS**,

Thank you.



P.O. Box 2044, Vacaville, Ca 95696 707-592-0479



Property Inspection Report



INSPECTION CONDITIONS

CLIENT AND SITE INFORMATION:

FILE # **FF081921-1**

DATE OF INSPECTION: **8/19/2021**

TIME OF INSPECTION: **9:30 AM**

CLIENT NAME: **Walt & Lisa Eckhoff**

AGENT **Jackie Plata**

OFFICE **Plata Realty Group**

FEE: **\$ 460.00**

PAID BY: **Invoice**

INSPECTION LOCATION: **943 Stillspring Ct.,**

CITY/STATE/ZIP: **Vacaville, Ca**

EXTERIOR CONDITIONS:

WEATHER: **OVERCAST**

SOIL CONDITIONS: **DRY**

APPROXIMATE OUTSIDE

TEMPERATURE: **70 DEGREES +/-**

BUILDING CHARACTERISTIC:

MAIN ENTRY FACES: **NORTH EAST**

ESTIMATED AGE OF HOUSE: **22 YEARS +/-**

BUILDING TYPE: **SINGLE FAMILY**

STORIES: **TWO**

ESTIMATED AREA: **4050 +/- SQ. FT. NOT MEASURED**

BUILDING FURNISHED: **YES**

CLIENT PRESENT: **NO**

AGENT PRESENT: **YES**

UTILITY SERVICES:

WATER SOURCE: **MUNICIPAL**

SEWAGE DISPOSAL: **MUNICIPAL**

UTILITIES STATUS: **FUNCTIONAL**



Property Inspection Report

Pre-Inspection / Inspection Agreement

The property address is: **943 Stillspring Ct., Vacaville, Ca** Fee for Inspection: \$ **460.00**
 THIS AGREEMENT made this **19th** day of **AUGUST** 2021

Accurate Home Inspections (hereinafter "INSPECTOR") and the undersigned (hereinafter "CLIENT"), collectively referred to herein as "the parties". The parties Understand and Voluntarily Agree as follows.

1. INSPECTOR agrees to perform a visual inspection of the home/building and to provide CLIENT with a written inspection report identifying the defects that INSPECTOR both observed and deemed material. INSPECTOR may offer comments as a courtesy, but these comments will not comprise the bargained-for report. The report is only supplementary to the seller's disclosure.
2. Unless otherwise inconsistent with this Agreement or not possible, INSPECTOR agrees to perform the inspection in accordance to the current Standards of Practice of the International Association of Certified Home Inspectors posted at <http://www.nachi.org/sop.htm>. Although INSPECTOR agrees to follow InterNACHI's Standards of Practice, CLIENT understands that these standards contain certain limitations, exceptions, and exclusions. CLIENT also understands that InterNACHI is not a party to this Agreement and that InterNACHI has no control over INSPECTOR or representations made by INSPECTOR and does not supervise INSPECTOR. Unless otherwise indicated below, CLIENT understands that INSPECTOR will NOT be testing for the presence of Radon – a colorless, odorless, radioactive gas that may be harmful to humans. Unless otherwise indicated below, CLIENT understands that INSPECTOR will NOT be testing for mold. Unless otherwise indicated in separate writing, CLIENT understands that INSPECTOR will not test for compliance with applicable building codes or for the presence of potential dangers arising from asbestos, lead paint, formaldehyde, molds, soil contamination, and other environmental hazards or violations. The client specifically acknowledges that the Property Inspection will not and is not intended to detect, identify, disclose, or report on the presence of Chinese Drywall products or the actual or potential environmental concerns or hazards arising out of the existence of these products. Client agrees to hold the Company and Inspector harmless for any injury, health risk, or damages of any nature caused or contributed to by these products. Furthermore, Client acknowledges that any discussions regarding the actual or potential presence of Chinese Drywall are informative in nature only and that the Property Inspection Company and / or Inspector do not hold the Company or themselves to be experts pertaining to the potential concerns associated with Chinese Drywall.
3. The inspection and report are performed and prepared for the use of CLIENT, who gives INSPECTOR permission to discuss observations with real estate agents, owners, repairpersons, and other interested parties. INSPECTOR accepts no responsibility for use or misinterpretation by third parties. INSPECTOR'S inspection of the property and the accompanying report are in no way intended to be a guarantee or warranty, express or implied, regarding the future use, operability, habitability or suitability of the home/building or its components. Any and all warranties, express or implied, including warranties of merchantability and fitness for a particular purpose, are expressly excluded by this Agreement to the fullest extent allowed by law. If any structure or portion of any structure that is to be inspected pursuant to this Agreement, is a log home, log structure or similar log construction, CLIENT understands that such structures have unique characteristics that make it impossible for an inspector to inspect and evaluate them by an exterior visual inspection. Therefore, the scope of the inspection to be performed pursuant to this Agreement does not include decay of the interior of logs in log walls, log foundations or roofs or similar defects that are not visible by an exterior visual inspection.
4. INSPECTOR assumes no liability for the cost of repair or replacement of unreported defects or deficiencies either current or arising in the future. CLIENT acknowledges that the liability of INSPECTOR, its agents, employees, for claims or damages, costs of defense or suit, attorney's fees and expenses and payments arising out of or related to the INSPECTOR'S negligence or breach of any obligation under this Agreement, including errors and omissions in the inspection or the report, shall be limited to liquidated damages in an amount equal to the fee paid to the INSPECTOR, and this liability shall be exclusive. CLIENT waives any claim for consequential, exemplary, special or incidental damages or for the loss of the use of the home/building even if the CLIENT has been advised of the possibility of such damages. The parties acknowledge that the liquidated damages are not intended as a penalty but are intended (i) to reflect the fact that actual damages may be difficult and impractical to ascertain; (ii) to allocate risk among the INSPECTOR and CLIENT; and (iii) to enable the INSPECTOR to perform the inspection at the stated fee.
5. INSPECTOR does not perform engineering, architectural, plumbing, or any other job function requiring an occupational license in the jurisdiction where the inspection is taking place, unless the inspector holds a valid occupational license, in which case he/she may inform the CLIENT that he/she is so licensed, and is therefore qualified to go beyond this basic home inspection, and for additional fee, perform additional inspections beyond those within the scope of the basic home inspection. Any agreement for such additional inspections shall be in a separate writing.
6. In the event of a claim against INSPECTOR, CLIENT agrees to supply INSPECTOR with the following: (1) Written notification of adverse conditions within 14 days of discovery, and (2) Access to the premises. Failure to comply with the above conditions will release INSPECTOR and its agents from any and all obligations or liability of any kind.
7. The parties agree that any litigation arising out of this Agreement shall be filed only in the Court having jurisdiction in the County in which the INSPECTOR has its principal place of business. In the event that CLIENT fails to prove any adverse claims against INSPECTOR in a court of law, CLIENT agrees to pay all legal costs, expenses and fees of INSPECTOR in defending said claims. CLIENT further understands that any legal action against InterNACHI itself allegedly arising out of this Agreement or INSPECTOR's relationship with InterNACHI must be brought only in the District Court of Boulder County, Colorado.
8. If any court declares any provision of this Agreement invalid or unenforceable, the remaining provisions will remain in effect. This Agreement represents the entire agreement between the parties. All prior communications are merged into this Agreement, and there are no terms or conditions other than those set forth herein. No statement or promise of INSPECTOR or its agents shall be binding unless reduced to writing and signed by INSPECTOR.

Continued next page.....



Property Inspection Report

943 Stillspring Ct.,
Vacaville, Ca

Inspection / Pre Inspection Agreement

No change or modification shall be enforceable against any party unless such change or modification is in writing and signed by the parties. This Agreement shall be binding upon and enforceable by the parties and their heirs, executors, administrators, successors and assignees. CLIENT shall have no cause of action against INSPECTOR after one year from the date of the inspection.

9. Payment of the fee to INSPECTOR is due upon completion of the on-site inspection unless other arrangements are made in advance. The CLIENT agrees to pay all legal and time expenses incurred in collecting due payments, including attorney's fees, if any. If CLIENT is a corporation, LLC, or similar entity, the person signing this Agreement on behalf of such entity does personally guaranty payment of the fee by the entity.

10. If CLIENT requests a re-inspection, the re-inspection is also subject to all the terms and conditions set forth in this agreement.

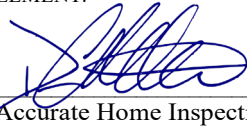
11. This Agreement is not transferable or assignable.

12. Should any provision of this Agreement requires judicial interpretation, the Court shall not apply a presumption that the term shall be more strictly construed against one party or the other by reason of the rule of construction that a document is to be construed more strictly against the party who prepared it.

13. Any dispute, controversy, interpretation or claim including claims for, but not limited to, breach of contract, any form of negligence, fraud, or misinterpretation arising out of, from or related to, this contract or arising out of, from or related to the inspection or inspection report shall be submitted first to a Non-Binding Mediation conference and absent a voluntary settlement through Non-Binding Mediation to be followed by final and Binding Arbitration, if necessary, as conducted by Construction Dispute Resolution Services, LLC or Resolute Systems, Inc. utilizing their respective Rules and Procedures. If you would like to utilize the Mediation or Arbitration services of another dispute resolution provider other than one of those so stated please submit your recommendation to us for our consideration. If the dispute is submitted to Binding Arbitration, the decision of the Arbitrator appointed there under shall be final and binding and the enforcement of the Arbitration Award may be entered in any Court or administrative tribunal having jurisdiction thereof. NOTICE: YOU AND WE WOULD HAVE A RIGHT OR OPPORTUNITY TO LITIGATE DISPUTES THROUGH A COURT AND HAVE A JUDGE OR JURY DECIDE THE DISPUTES BUT HAVE AGREED INSTEAD TO RESOLVE DISPUTES THROUGH MEDIATION AND BINDING ARBITRATION.

14. This report shall be null and void without a signature on this agreement by both parties.

THE CLIENT HAS CAREFULLY READ THE FOREGOING, AGREES TO IT, AND ACKNOWLEDGES RECEIPT OF A COPY OF THIS AGREEMENT.

X		08/19/21	X	Copy on file	
	For Accurate Home Inspections	Date		Client or Clients Representative	Date





Property Inspection Report

THE FOLLOWING ITEMS WERE NOTED WITHIN THIS REPORT:

Soil condition, movement, possibility of movement, contamination, mold, fungus and drainage is not part of this report. Any comments are informational only.

Zoning, setbacks, easements, property boundaries, and the actual size of the property are not part of this report.

Any out buildings referred to and those not referred to are not part of this report. Any references made are informational only.

Our inspection does not revolve around and may or may not include infestation, dry rot or wood destroying organisms. A licensed Pest Inspection and a WDO Report should be obtained for information in those areas.

This report is intended to be a broad overview of the condition of this building. It should not be interpreted as though every defect and or deficiency was discovered. Our inspection is that of a generalist and not a specialist in any particular field.

Permits for construction, additions and or modifications were not verified and are beyond the scope of this report. Our report is not a code compliance report. We advise our client to research the local building department for permits on file.

This report is for the exclusive use of our client. Use of this report by anyone other than our client is not authorized without our written permission.

Photographs used in this report may only be a sampling of conditions in those categories. The absence of a photo does not mean a condition is not important.

Engineering and or architectural integrity, strength, spans or support is not part of this report. A qualified engineer should be obtained for information in this area.

Litigation within a community, track of homes or complex past, present or pending is beyond the scope of this report.

This report is only supplementary to and does not replace a full disclosure by the seller or their representatives in the property transaction.

This report is prepared in accordance with the Standards of Practice set forth by the National Association of Certified Home inspectors. A copy is available at nachi.org or accuratehomeinspection.com.

Class actions and or recalls of any type are beyond the scope of our inspection.

EXTERIOR:

General Appearance - The general appearance of this building is consistent with other similar buildings in the area.



For reference left and right, front and rear is determined from the street facing the home or building.

General Comments – Areas not exposed to view and or concealed are considered inaccessible and not part of this report. These areas may include wall or floor coverings, exterior surfaces, furnishings or personal storage etc.

Stucco / Trim - The exterior finish of this home is a combination of stucco and Styrofoam and wood trim. Small cracks in these types of materials are common. These cracks should be sealed prior to painting during routine maintenance.

Wood trim materials are susceptible to moisture penetration if not protected. Efforts should be made to protect the wood siding and trim from excessive exposure to moisture.

EIFS stucco clad finish (artificial Stucco) (Exterior Insulation Finish Systems) and conventional hard coat or cement stucco are similar in looks but differ in installation requirements, methods and materials.



Property Inspection Report

The presence or absence of moisture penetration past or present with EIFS or conventional stucco cannot be determined without specialized equipment and or invasive wall penetration. Our inspection is a visual inspection only.

Wooden door trim materials are also susceptible to moisture penetration if not protected. Efforts should be made to protect the wood trim from excessive exposure to moisture.

Stucco and Styrofoam cracking was noted around the perimeter. Smaller cracks are commonly seen but should be caulked / sealed as needed to prevent possible moisture intrusion.

Larger cracks or voids in the stucco or Styrofoam siding materials can allow moisture penetration to the inner wall area. These cracks or voids should be repaired, filled and sealed as needed.

The cracking located in the left side area is in need of sealing.



The cracking located in the rear area is in need of sealing.



Previous repairs were noted.

Routine Maintenance - *Caulking / sealing of the wooden door trim and trim to stucco contact should be included in a routine maintenance program.*

Vegetation - Vegetation should be kept trimmed away from the structure.

WDO Report – Comments and or conditions concerning fungus, deterioration or dry rot of wood members would be contained in your (WDO) pest report.



Property Inspection Report

Driveway / Walkway - The driveway has cracked and chipped leaving large voids. These voids should be repaired, filled / sealed to prevent water from collecting below the concrete surface. This area should also be monitored for further movement.

Exposed re-bar was visible at the driveway. This condition can cause rust and expansion to the rebar, causing further concrete damage. Re-bar should be treated and repaired. Contact a licensed contractor for corrections in this area.



Sprinklers – Sprinkler systems if present are not evaluated and beyond the scope of this report.



Property Inspection Report

Perimeter Grading - Grading and drainage are probably the most significant aspects of a property; simply because of the direct and indirect damage that moisture can have on structures. More damage has probably resulted from moisture and expansive soils than from most natural disasters, and for this reason we are particularly diligent when we evaluate site conditions. In fact, we compare all sites to an ideal. In short, the ideal property will have soils that slope away from the house, and the interior floors will be at least several inches higher than the exterior grade. Also, the residence will have gutters and downspouts that discharge into area drains with catch basins that carry water away to hard surfaces. If a property does not meet this ideal, or if any portion of the interior floor is below the exterior grade, we will not endorse it, even though there may be no evidence of moisture intrusion, and recommend that you consult with a grading and drainage contractor. We have discovered evidence of moisture intrusion inside homes when it was raining that would not have been apparent otherwise.

Surface grade within 6 feet of the inspected building appears to provide drainage away from the structure. The grade within this distance should be maintained at a minimum of ¼" to the foot. Monitoring of this area for proper drainage is needed. Should pooling occur additional grading and or drainage may be needed to eliminate such a condition.

Underground drainage should be maintained free of debris or blockage.

Fence – Section 3.2 IV paragraph A of the NACHI standard of practice states that an inspector is not required to inspect fencing. Any comments below are informational only and not part of this report.

Sections of the fence are deteriorated or in needed repair. Repair and or replacement should be made as needed.

Gate(s) – The RV access gate was locked at the time of our inspection. Full evaluation could not be made.

The gate does not properly self close and latch. The self-closing spring and latch assembly is in need of repair. This device(s) should be maintained in an operative condition. This device should close and latch when opened even two inches. This device is used for pool / spa safety. Frequent testing for proper operation is needed.

The addition of a pool alarm at all doors with access to the pool area is recommended for added safety.

Pool and Spa Gates and Alarms General Comments - There are two kinds of gates which might be found on a residential property. Both can play a part in the design of a swimming pool barrier.

Property Inspection Report

Pedestrian Gates are the gates people walk through. Swimming pool barriers should be equipped with a gate or gates which restrict access to the pool. A locking device should be included in the gate design. Gates should open out from the pool and should be self closing and self-latching. If a gate is properly designed, even if the gate is not completely latched, a young child pushing on the gate in order to enter the pool area will at least close the gate and may actually engage the latch. When the release mechanism of the self-latching device is less than 54 inches from the bottom of the gate, the release mechanism for the gate should be at least 3 inches below the top of the gate on the side facing the pool. Placing the release mechanism at this height prevents a young child from reaching over the top of a gate and releasing the latch. Also, the gate and barrier should have no opening greater than 1/2 inch within 18 inches of the latch release mechanism. This prevents a young child from reaching through the gate and releasing the latch.

All doors which give access to a swimming pool should be equipped with an audible alarm which sounds when the door and/or screen are opened. The alarm should sound for 30 seconds or more within 7 seconds after the door is opened and should be loud, at least 85 decibels, when measured 10 feet away from the alarm mechanism. The alarm sound should be distinct from other sounds in the house, such as the telephone, doorbell and smoke alarm. The alarm should have an automatic reset feature. Because adults will want to pass through house doors in the pool barrier without setting off the alarm, the alarm should have a switch that allows adults to temporarily deactivate the alarm for up to 15 seconds. The deactivation switch could be a touch pad (keypad) or a manual switch, and should be located at least 54 inches above the threshold of the door covered by the alarm. This height was selected based on the reaching ability of young children.

Patio / Decks / Porch - The concrete surface of the patio has cracked. Cracks of this type should be filled / sealed to prevent the collection of moisture below the concrete surface.





Property Inspection Report

The composite decking may be involved in a recall program. The following information is supplied by the CPSC.

Composite Decks Recalled by Louisiana-Pacific; Decks Can Deteriorate and Break, Posing Fall Hazard

WASHINGTON, D.C. - The U.S. Consumer Product Safety Commission, in cooperation with the firm named below, today announced a voluntary recall of the following consumer product. Consumers should stop using recalled products immediately unless otherwise instructed. It is illegal to resell or attempt to resell a recalled consumer product.

Name of Product: Composite Decks

Units: About 48 million linear feet (decks vary in size)

Manufacturer: Louisiana-Pacific (LP) Corp., of Nashville, Tenn.

Hazard: The recalled decking can prematurely deteriorate and unexpectedly break. Consumers can fall through broken decking and suffer serious injuries.

Incidents/Injuries: LP has received 37 reports of composite decks breaking, resulting in 14 injuries, including a broken wrist, sprained ankle, minor lacerations and bruises.

Description: The recall includes outdoor deck board and railings sold under the brand names LP WeatherBest®, ABTCo., and Veranda®. They are composite products that look similar to natural wood and were sold in various colors including Tuscan Walnut/Chestnut, Driftwood Grey/Greystone, Pacific Cedar and Western Redwood. Veranda decking products were manufactured by multiple firms; only products manufactured by LP are included in this recall.

Sold at: The Home Depot (Veranda® brand) and building product dealers (LP WeatherBest® and ABTCo. brands) nationwide from January 2005 to August 2008 for between \$1.50 and \$2.25 per linear foot.

Manufactured in: United States

Remedy: Consumers with the recalled decking should immediately contact LP for a free inspection. If the decking is affected by premature deterioration, LP will arrange for a free replacement.

Consumer Contact: For additional information, contact LP toll-free at (888) 325-1184 between 6 a.m. and 5 p.m. PT Monday through Friday, or visit the firm's Web site at www.deckingnotice.com

Patio Cover – Appeared functional.

Patio covers are not water tested for leakage.

Window Screens - See each area for comments in this section. Window screens should be evaluated at the final walk through.

Window / Frames – Windows used in this home are a dual pane window.



Property Inspection Report

Sealing around the window frames should be included in a routine maintenance program.

Dual pane windows are susceptible to seal failure and moisture accumulation between the two panes of glass. Every effort is made to identify those windows that may have failed seals during our inspection. However we do not guarantee that any or all failed window seals were or are noted in this report, which is consistent with the standard of practice. (Section 3.2 IV P) We recommend that a glazier evaluate all dual pane windows prior to close of escrow. We have found that failure may occur after or between inspections. A final visual inspection of the windows by our client is recommended at the final walk through to ensure no changes in the window condition have occurred.

Only a representative number of windows were operated. Furnishings or window coverings are not moved to gain access to the windows. The seller should disclose any defects in the window operation.

Windows are not water tested for leakage.

Chimney Flue – The National Fire Prevention Association recommends that all chimneys be cleaned and inspected before selling or buying a home. We recommend that a certified chimney sweep conduct a Level I and II inspection of the chimney, flue and related components. This inspection should be performed during your inspection period.

Spark arrestors are not removed during our inspections.

Note: All fireplaces and chimneys should be inspected prior to the client's first use, and not less than annually.

Refer to your chimney report for comments in this area.

Exterior Outlets - GFCI protection has been provided for the exterior outlet(s).

General Comments – The pool / pond / spa was not inspected. Any Comments in this report relating to the equipment or pool, pond or spa safety is informational only and not part of this report. A specialist should be obtained.

The following Pool, pond and Spa Safety Requirements for the state of California went into affect January 1, 2018.

The swimming pool, pond or spa shall be equipped with at least two of the following seven drowning prevention safety features:



Property Inspection Report

1 - An enclosure that isolates the swimming pool or spa from the private single-family home.

Appeared serviceable.

2 - Removable mesh fencing that meets American Society for Testing and Materials (ASTM) Specifications F2286 standards in conjunction with a gate that is self-closing and self-latching and can accommodate a key lockable device.

None noted.

3 - An approved safety pool cover.

None noted.

4 - Exit alarms on the private single-family home's doors that provide direct access to the swimming pool or spa. The exit alarm may cause either an alarm noise or a verbal warning, such as a repeating notification that "the door to the pool is open."

None noted.

5 - A self-closing, self-latching device with a release mechanism placed no lower than 54 inches above the floor on the private single-family home's doors providing direct access to the swimming pool or spa.

None noted.

6 - An alarm that, when placed in a swimming pool or spa, will sound upon detection of accidental or unauthorized entrance into the water. The alarm shall meet and be independently certified to the ASTM Standard F2208 "Standard Safety Specification for Residential Pool Alarms," which includes surface motion, pressure, sonar, laser, and infrared type alarms. A swimming protection alarm feature designed for individual use, including an alarm attached to a child that sounds when the child exceeds a certain distance or becomes submerged in water, is not a qualifying drowning prevention safety feature.

None noted.

7 - Other means of protection, if the degree of protection afforded is equal to or greater than that afforded by any of the features set forth above and has been independently verified by an approved testing laboratory as meeting standards for those features established by the ASTM or the American Society of Mechanical Engineers (ASME).

None noted.

General Comments – The shed was not inspected.



Property Inspection Report

ROOF:

Material – All roofs should be evaluated by a qualified contractor. Our limited evaluation of the tile roof covering was performed from its perimeter at ground level without binoculars. Walking on the roof should be done by a qualified roofing contractor to avoid damage.

Solar panels, if present can limit the visibility of the inspector.

Evidence of previous leakage can be concealed by the finishes within the interior.

Leaks in a roof can develop or happen at any time depending on the wind, rain, ice or other factors or conditions. We recommend that a roof inspection and certification be obtained by a licensed roofer.

Accurate Home Inspections is not a licensed roofing contractor. To ensure the water tightness we recommend that a roof inspection and certification be obtained by a qualified roofing contractor.

Refer to your roof report (by others) for comments and or conditions concerning the roof.

This evaluation should not be interpreted as a roof certification or a guarantee against leakage.

Flashing - Sealing around the roof flashing should be part of a routine maintenance program.

Refer to your roof report for comments and or conditions in this area.

Vent Caps - Refer to your roof report for comments and or conditions in this area.

Gutters / Downspouts - Gutters and downspouts are not water tested for leakage.

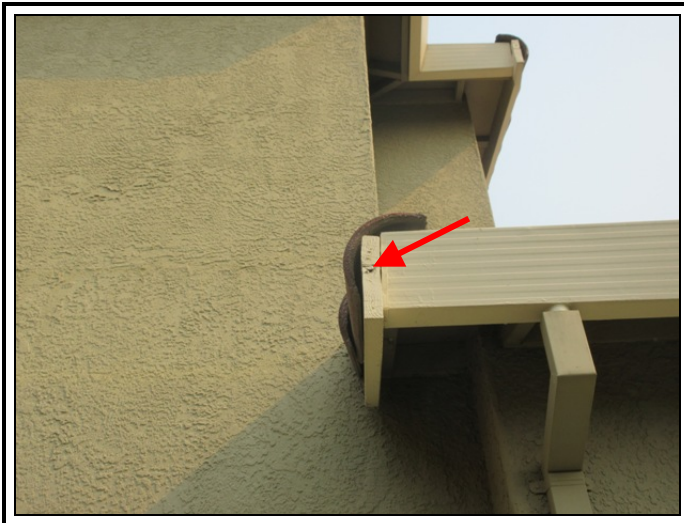
Routine cleaning is recommended for proper drainage.

The gutter over the front is in need of repair or replacement. Contact a qualified sheet metal contractor for needed corrections.



Routine Maintenance - Open joints in the gutter system should be sealed during routine maintenance.

Over Hang / Eaves / Fascia - Deterioration was noted in the barge rafter at the front of the home. Refer to your pest report for comments in this area.





Property Inspection Report

Deterioration was noted in the roof sheathing at the front of the home. Refer to your pest report for comments in this area.



GARAGE:

General Comments - Flammable and or combustible materials are often found stored in the garage. These items should be properly store away from any fired appliance and in accordance with the manufacturer's instructions to prevent a garage fire.

Walls / Floor – Visibility in this area was limited by personal belongings. All areas were not accessible. Personal belongings or storage are not moved or climbed over during our inspection. Our client is advised to call our office once this area is cleared should a re-inspection be desired.

Walls – Physical damage to the post was noted. Repair as needed.



Outlets - The GFCI outlet(s) in the garage was functional at the time of our inspection. Periodic testing is recommended.

Overhead Doors – Overhead vehicle garage doors are evaluated for operation and their related safety features. Cosmetic conditions should be evaluated by our client.

Smaller cracks or dents in metal garage doors are common. Smaller cracks or dents that do not affect the safety features are considered cosmetic.

Garage door heights and width are not standard. Interested parties should consider measuring the garage to ensure their vehicle can access.

The following warning labels are recommended for safety:



Property Inspection Report

- 1) A spring warning label attached to the spring assembly;
- 2) A general warning label attached to the back of a door panel;
- 3) A warning label attached to the wall in the vicinity of the wall control button; and
- 4) Two warning labels attached to the door in the vicinity of the bottom corner brackets.
- 5) NOTE: Some newer doors have tamper-resistant bottom corner brackets that will not require these warning labels.

Door Openers – The garage doors are equipped with an automatic door opener. Automatic door openers require specific testing and safety features to ensure safe operation. The owner's manual should be read and understood prior to use. If the owner's manual is not available the manufacturer should be contacted to obtain one. Additional safety information is available from the National Safety Council.

Children should never be allowed to operate or play with garage doors.

California State Law effective July 1, 2019 requires that when a new garage door or new door opener is installed in a residence that a battery back up function also be installed in case of a power failure. This bill prohibits installation of a door or opener without such a device. Failure to follow this will result in a civil penalty of \$1000.00 per opener installed and operational.

Safety Reverse - The garage doors are equipped with a safety reverse feature. During our inspection this feature did reverse when tested. Frequent testing is recommended to ensure proper operation.

Electric Eye – The garage doors are equipped with an electric eye for safety. During our inspection this feature was operating properly. Frequent testing is recommended to ensure proper operation.

Fire Door Self-Closing Device(s) – Appeared Serviceable.



Property Inspection Report

Firewall – The inspector does not determine the adequacy of or the firewall ratings.

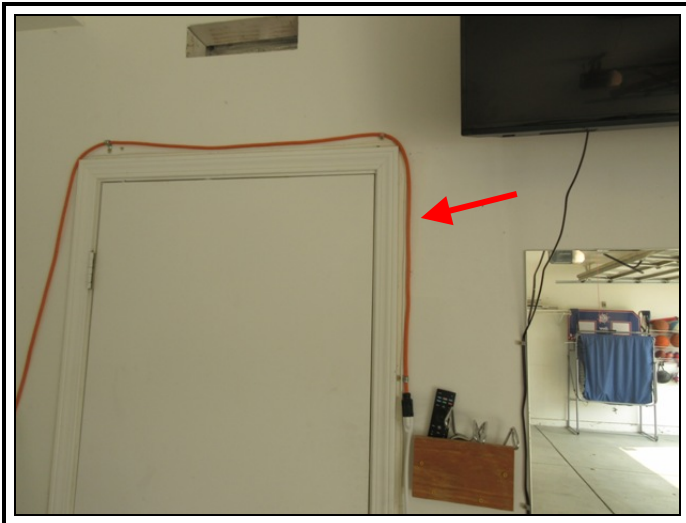
The wall between the garage and the living area makes up part of the fire protection for this home. The voids located on the left side will need to be repaired for fire safety.



Pedestrian / Man Door – A self-closing device is currently required by some jurisdiction on the pedestrian or man door when the pool or spa is accessible from this door. The addition of a self-closing latch assembly installed at 54” may also be required. Check with the local building department for information and or requirements in this area.

A pool alarm is needed for safety.

Unsafe Wiring – Wiring was installed with the use of an extension cord. This type of wiring was not designed for permanent use. Proper hard wiring is recommended.





Property Inspection Report

PLUMBING:

General Comments - Water softeners and or purification systems are not evaluated and beyond the scope of this report.

Evaluation of and determining the adequacy or completeness of the following items are not included in this inspection: water recirculation pumps; solar water heating systems; Energy Smart or energy saver controls; catch pan drains. Any comments made regarding these items are as a courtesy only. Note that the inspector does not provide an estimate of remaining life on water heaters, does not determine if water heaters are appropriately sized, or perform any evaluations that require a pilot light to be lit or a shut-off valve to be operated.

The inspector does not determine whether any faucet is designed to safely regulate temperature. Without "anti-scald" type faucets on tub and/or shower valves, you and especially small children may be injured by excessively hot water.

The inspector does not determine the flow rate of any fixture, showerhead or toilet. A disclosure by the seller is required as of January 1, 2017. If a disclosure is not made a plumber should be obtained.

Water Lines - The water line into this structure is a copper material.

Main Shut Off Valve - The main shut off valve is located in the front of the home. Water valves are not turned off and on during our inspections.

Anti-Siphon Device – The installation of a non-removable anti-siphon device is recommended at all hose bibs.

Water Pressure - Water pressure measured at the front hose bib was approximately 52 pounds.

Waste / Vent Piping – Drainage piping and fittings are evaluated for drainage and or leakage only. Each individual pipe or fitting, type or size is not evaluated. Should an evaluation of this type be desired a qualified plumbing contractor should be obtained. Piping of any type below the surface is beyond the scope of this report. Should an evaluation of this type be desired a qualified plumbing contractor should be obtained. Sewer clean outs are not always visible and may be covered by soil or bushes.

Our inspection is based on the inspection industry's definition of a recommended water test for "functional drainage" in a plumbing system. However, only a video-scan of the interior of drainpipes and drain lines can fully confirm their actual condition. When the house is vacant, the plumbing system is older, there are prior known drain problems or

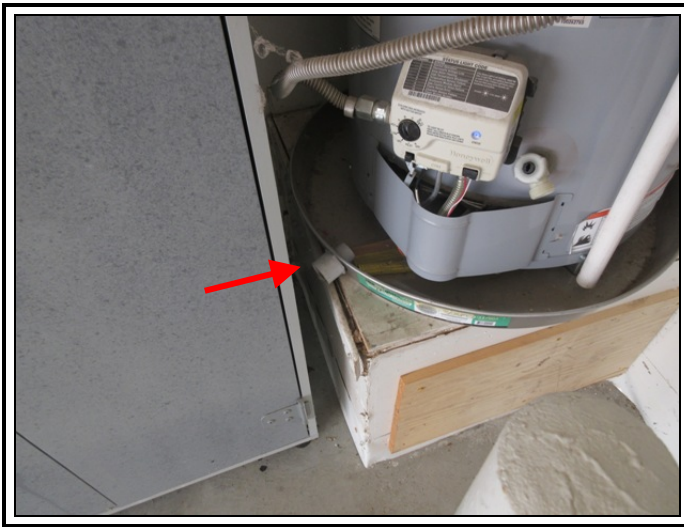
there are large trees on the grounds, it would be prudent to have the drain lines "video-scanned" prior to closing. Underground and hidden plumbing / sewer lines are not visible and not inspected.

Waste and vent piping for this structure is an ABS material.

Water Heater - The water heater has a capacity of approximately 50 gallons. Natural gas supplies the energy source for this unit.

The water heater does sit on a collection pan.

The addition of a drip leg from the collection pan to the floor is recommended



Gas Supply / Sediment Trap - A flexible gas line and shut off valve have been installed. We do not turn gas valves off and on during our inspection.

A sediment trap on the gas line into the water heater is recommended as an upgrade as close to the inlet as possible. This is to prevent moisture and debris from entering the firing chamber of the hot water heater.

Sediment - Water Heaters are susceptible to sediment build up internally over time. This build up may cause a longer time lapse for hot water recovery and may even restrict hot water flow to the faucet. Since the sediment is collected within the water heater and it is not visible to the inspector we cannot comment on this condition. Hot water flow / temperature are not measured during our inspection. Periodic draining of the water heater is recommended and may help eliminate such a condition.

Property Inspection Report

General Comments - Water Heaters can cause burns if not monitored and or regulated. A water heater can reach temperatures near 160 degrees which can cause sever burns. An approximate one-second exposure to 160-degree water can and or will result in a third degree burn(s). The consumer product safety commission suggests that water heaters be set to a maximum of 120 degrees, even though a ten-minute exposure at this temperature can result in third degree burns. A safer temperature is 110-degrees.

We do not measure water temperatures during our inspections. Interested parties should evaluate water temperatures for safety.

Earthquake Strap – Water heaters in California must be strapped to resist falling or horizontal motion. The water heater must be strapped at the top and bottom third of the unit, minimum 4" above the control valve. The California Health and Safety Code Sections 19210-19217 expands on the requirements and directs the California Division of State Architect Office to develop generic guidelines. Those guidelines are published in the Water Heater Strapping Booklet that your agent has probably given to you. The Health and Safety Code guidelines have the force of law and actually augment the code requirements.

The upper strap is too close to the TMP valve. Adjustment is needed.



Pressure Relief Valve - A pressure relief valve is part of the safety features of the water heater. Pressure relief valves are not opened during our inspection. Pressure relief valves should be tested by a qualified plumber.

The drip leg for this valve should be plumbed to the exterior of the building using ¾" copper, galvanized or CPVC piping material. PVC is not permitted.



Water Heater Vent Piping - Ventilation for this unit has been provided.

Combustion Air - Combustion air is supplied by the open garage area.

HEATING AND AIR CONDITIONING:

System - The Heating and Air Conditioning units combined with the compressor unit outside is evaluated for operation only. No disassembly is made.

Note: Cracked or damaged heat exchangers, recirculation systems, humidifiers, dehumidifiers and electronic air filters and hot water assisted units are not inspected and beyond the scope of this inspection.

Furnaces with pilot lights that are off are not lit by the inspector. The local utility company should be obtained for lighting.

Installation procedures, energy calculations and or equipment requirements are not evaluated and thus not part of this report. Each internal component or chemical charge is not evaluated. Should individual evaluation or procedures be required a Heating and Air Conditioning Contractor or the local utility company should be obtained.

Cleaning during routine maintenance is needed.



Property Inspection Report

These units appeared operational and serviceable by use of the thermostat at the time of our inspection.

We recommend that the Heating and Air Conditioning system be covered by a home warranty.

A number of register outlets revealed airflow but the efficiency of the units, balance or distribution system were not evaluated and are beyond the scope of this report.

We recommend a complete heating and air condition evaluation.

Energy Source - Natural gas supplies the energy source for this unit. The use of 120 volts a/c voltage for equipment operation is also supplied.

Gas Main - The gas main is located on the left side of the garage exterior. A shut off wrench located at the main shut off valve is recommended in case of an emergency.

Thermostat Location – The thermostats are located in the downstairs hallway and upstairs master bedroom.

The thermostats were functional at the time of our inspection.

Note the testing of the thermostat timer; clock and or set back functions are beyond the scope of this report.

Dual Zone Controller - This home is equipped with a dual zone control unit. The evaluation of this unit requires specific test equipment and should be referred to an HVAC specialist. Our inspection does not involve the use of specialized equipment.

Venting - Ventilation for this unit has been provided.

Combustion Air - Combustion air is supplied within the attic by the open area.

Duct System - Ducting within this home is insulated for energy efficiency. Duct systems vary in each home and can leak or may be leaking. For this reason we recommend that a qualified HVAC contractor evaluate the system. A duct test for leakage and cleaning is recommended. We do not perform a leak test on the duct system during our inspection.

Filter - During our inspection of the filtration system, it was noted that the filter is in need of cleaning or replacement. Clean filters will increase airflow and help maintain proper operation.



Property Inspection Report

Note the evaluation of the home for indoor air quality is beyond the scope of this inspection.

Compressor / Electrical Disconnect - The electrical disconnect for the compressor unit is located within six feet of the compressor on the left side of the home.

Condenser Drain – The condenser drain has been plumbed to the exterior of the building.

Seer Comment 2005 – *Due to legislation homeowners and new purchasers should be aware that HVAC replacements may require duct repair or replacement at a significantly higher cost than the FAU or A/C condenser cost itself.*

If repairs are needed or suspected, buyers / sellers should verify what sort of expense might be incurred by having a licensed HVAC contractor review the system and provide an estimate.

ELECTRICAL SYSTEM:

Service to the Main – Service to the main is supplied from underground.

Service to the main is also supplied by a Solar System. The evaluation of Solar Systems requires the skills and specialized equipment of a qualified electrician. The evaluation of this system is beyond the scope of this report.

The disconnect and control panel are located on the right side of the garage exterior.

Supply Voltage - This home is supplied with 120/240 volts a/c.

Service Main Panel - The main panel is located to the right side of the garage exterior. The panel is equipped with a 200 amp. main service disconnect.

Breakers in this panel have been marked for identification. We do not verify label markings of the circuitry. An electrician should be obtained.

Wiring / Grounding – The 110-volt wiring in this home is copper. The ground type or method is cable to bar and pipe.

Arc Fault Breakers – Arc Fault Breakers were not installed. AFCI's are an electrical safety device installed in new home circuits, in some jurisdictions, for construction permitted **after January 1, 2002**. The AFCI's purpose is to prevent fires, which may occur due to faulty electrical appliances connected to a circuit.

General Comments - If ceiling fans have been installed in this home verification that they have been wired correctly and mounted in a safe manner is beyond the scope of this inspection. Ceiling fans are evaluated for operation only. Audible noise varies from fan to fan and is beyond the scope of this report. Some vibration or movement is common amongst ceiling fans. Our client should evaluate the ceiling fans for satisfaction concerning noise and movement.

Evaluation of the branch circuitry for load or capacity is beyond the scope of this report. An evaluation of this type requires specialized skill and equipment of a qualified electrician. Interested parties should obtain an electrician for information and or an evaluation in this area.

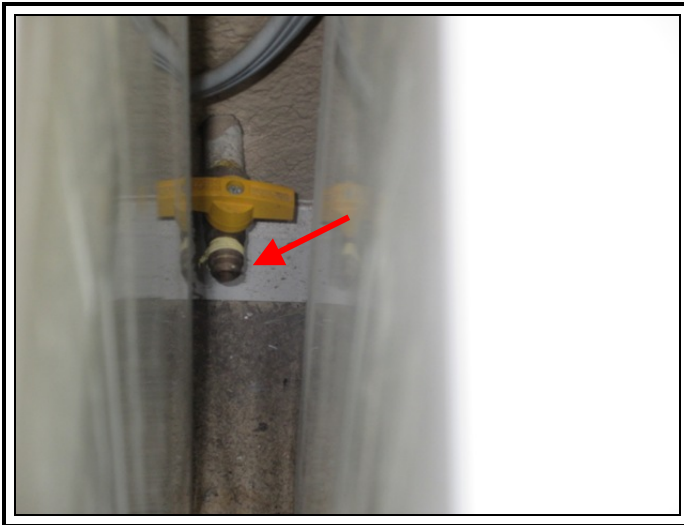
A representative number of switches and outlets were tested throughout the home during our inspection. Any comments concerning their condition would be listed below.

LAUNDRY AREA:

Laundry Appliances are not inspected. We do not check washing machine connections and we do not operate the hose bibs.

Energy Source – Gas and electric have been installed for dryer operation.

Proper capping of the open gas line is needed for safety.





Property Inspection Report

Outlets – The outlet over the countertop is not protected by a GFCI. An outlet of this type is recommended for safety.

Dryer Vent – Routine cleaning of the dryer vent piping is recommended for safety.

INTERIOR:

General Comment - Personal content within the dwelling pose a condition of limited visibility. Our client is advised to contact our office should a re-inspection upon removal of the content be desired.

Floors – Floor surfaces are not measured for slopes or uneven surfaces. We do not move furniture or lift carpeting and padding or any floor covering materials and we do not use any specialized tools or measuring devices to establish relative elevations or determine any degree of differential settling. A thorough walk through by our client or those representing the client should be made. Any information in this report is informational only. Should measuring for floor slopes or unevenness be desired or needed an engineer should be obtained.

Floor covering is not evaluated for physical appearance and or damage. Any comments are informational only.

The floor structures in various homes can vary. The load capability of the floor also varies. What this can mean is that one structure may carry the load of a tile floor while the other may not. Parties interested in changing floor covering materials or those that have question concerning load and deflection should contact a flooring specialist. We do not calculate floor loads.

Doors / Molding - We recommend maintaining door stops at all doors.

ENTRY AND HALLWAY:

Walls / Ceiling – Settling cracks are common and may appear at any time. Settling cracks should be evaluated during your walk through. These cracks when present should be properly repaired during routine maintenance.

Walls – Previous repairs were noted.

Railing / Stairs – The height of the railing assembly is less than the current 42" minimum. This condition may have been approved at the time of construction.

Smoke Detector(s) – A note about smoke detectors. The testing of smoke detectors is done using the manual test feature. This can be misleading as this test only verifies a



Property Inspection Report

power source to the device and not smoke particles to the detector itself. Smoke detectors do have a life span. Older detectors, those more than 10 years old should be replaced per the manufacturer.

Most homes built after the early 1990's have a network connecting all the detectors within the home. The testing of the network itself is beyond the scope of this report and may or may not be noted. Detectors are not removed during our inspection to check wiring or connections.

The smoke detector in the downstairs area was operational independent of the others at the time of our inspection. The network connecting the other detectors was not operational. A networked system was required at the time of construction. Repair is needed for fire safety.

The smoke detector in the upstairs area was operational, but had low audibility. Repair is needed for fire safety.

A device of this type must remain audible and operational within these areas. Frequent testing is recommended.

We recommend that all smoke detectors be checked upon occupancy and that all batteries be changed.

Carbon Monoxide Detector – Carbon Monoxide detectors are tested with the test button only. This type of test is not conclusive that the sensor is functional only that the test button feature is operational.

Carbon Monoxide detectors are installed.

LIVING ROOM / DINING AREA:

FAMILY ROOM:

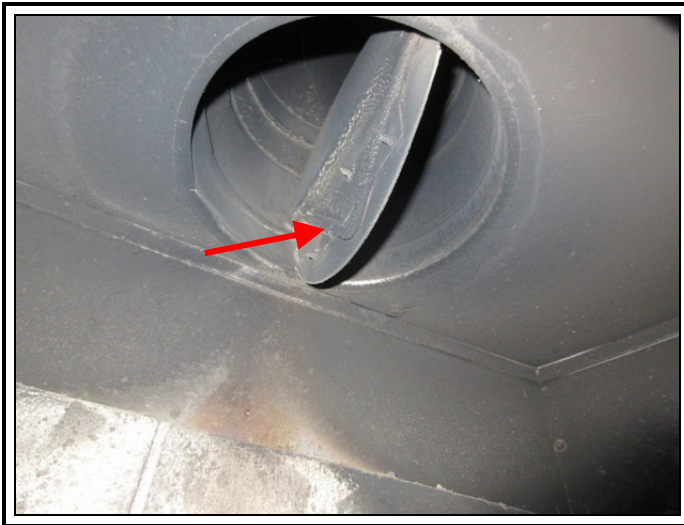
Fireplace / Chimneys – There are a wide variety of chimneys, which represent an even wider variety of interrelated components that comprise them. However, there are three basic types: single-walled metal, masonry, and pre-fabricated metal ones that are commonly referred to as factor-built ones. Single-walled metal ones should not be confused with factory-build ones, and are rarely found in residential use, but masonry and factory-build ones are commonplace. Our inspection of them is that of a generalist, not a specialist, and meets industry standards. However, significant areas of chimney flues cannot be adequately viewed during a field inspection, as has been documented by the Chimney Safety Institute of America, which reported in 1992. The inner reaches of a

Property Inspection Report

flue are relatively inaccessible, and it should not be expected that the distant oblique view from the top or bottom is adequate to fully document damage even with a strong light. Therefore, because our inspection of chimneys is limited to those areas that can be viewed without dismantling any portion of them, and does not include the use of specialized equipment, we will not guarantee their integrity and recommend that they be inspected by a specialist.

Chimney flues need to be cleaned periodically, to prevent the possibility of chimney fires. However, the complex variety of deposits that form within chimney flues as a result of incomplete combustion, and which contribute to such fires, are complicated and not easily understood. They range from soot, or pure carbon, that does not burn, to tars that can ignite. All of these deposits are commonly described as creosote, but creosote has many forms, ranging from crusty carbon deposits that can be easily brushed away, to a tar-glazed creosote that requires chemical cleaning. These deposits must be identified and treated by a specialist. However, cleaning a chimney is not a guarantee against a fire. Studies have proven that a significant percentage of chimney fires have resulted within one month of the chimney being cleaned, and many more have resulted within a six-month period.

A damper stop is not installed. The installation of a damper stop is needed to prevent a gas accumulation within the firebox.



Refer to your chimney report for comments in this area.

Screens – Window screen(s) are in need of repair in this area.



Property Inspection Report

KITCHEN AND EATING AREA:

General Comments – We recommend that a Home Warranty be kept in place to cover the appliance in the kitchen. Appliances can and do fail.

Outlets – A GFCI Circuit or outlet does protect the required outlet(s).

Patio Door – A pool alarm is needed for safety.

Cabinets / Counter Top - Only a sampling of cabinet operation was made. Final evaluation should be made by our client at the final walk through to ensure satisfaction.

Personal content within the cabinetry limits the visibility of the inspector. We do not move personal belongings during our inspection.

The cabinets and counter tops appeared functional and operational.

Sink / Faucet / Drain - Sinks and faucets along with drains are evaluated for operation, flow and drainage.

These fixtures and drains were functioning properly at this time.

Garbage Disposal – This appliance was operational at the time of our inspection.

Dishwasher – Our inspection of the Dishwasher is to determine leakage at the door gasket and or air gap only. The cleaning proficiency or the internal components is beyond the scope of this inspection and not part of this report.

Leakage was not observed.

Stove / Oven – Appeared functional and operational.

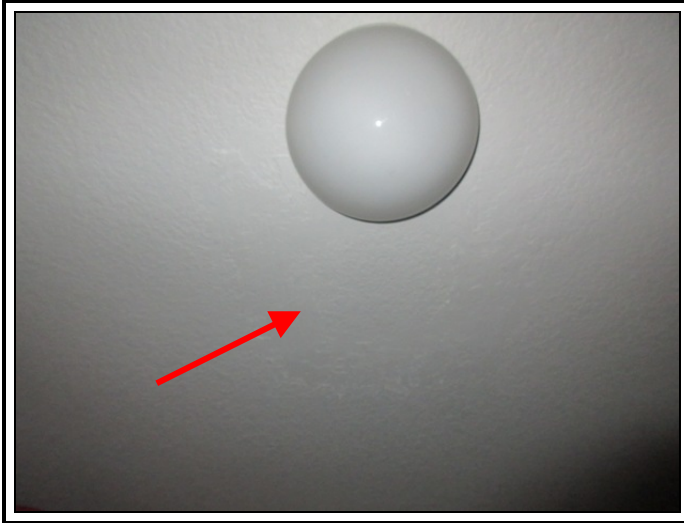
Clocks timers and temperature control or the cooking efficiency, with or without any special cooking features is beyond the scope of this report. Self-cleaning features are not evaluated. Disclosure in this area is recommended.

We recommend that an anti tip device be installed and maintained on all free standing stoves or ovens.

Microwave – The microwave is tested with a microwave tester or damp sponge/cloth only. No other features of the microwave are tested or evaluated for cooking. Clocks, timers, microwave leakage and cooking efficiency are beyond the scope of this report.

BEDROOM #1 – DOWNSTAIRS RIGHT:

Ceiling – Previous repairs were noted within the closet area.



Smoke Detector - The smoke detector in this bedroom was operational independent of the network.

Closets – Appeared functional.

BEDROOM #2 / BONUS AREA – UPSTAIRS RIGHT FRONT:

Smoke Detector - The smoke detector in this bedroom was operational.

BEDROOM #3 – UPSTAIRS RIGHT CENTER:

Walls – Holes in the wall were noted in this area. Repairs should be made as needed.

Smoke Detector - The smoke detector in this bedroom was operational.

Ceiling Fan – Blades are loose. Repair is needed.

Closets – Alignment or adjustment of the bypass doors is needed for proper operation.

BEDROOM #4 – UPSTAIRS REAR:

Smoke Detector - The smoke detector in this bedroom was operational.

Closets – Appeared functional.

MASTER BEDROOM AND SITTING AREA:

Floor – The floor surface in this area appeared uneven.

Windows - The exterior vinyl window trim is in need of repair.



Smoke Detector - The smoke detector in the master bedroom was operational.

Gas Decorative Fireplace – The gas decorative fireplace appear functional by normal controls.

Our inspection of the gas decorative fireplace is that of a generalist, not a specialist, and meets industry standards. However, significant areas cannot be adequately viewed during a field inspection, as has been documented by the Chimney Safety Institute of America, which reported in 1992. The inner reaches are relatively inaccessible. Therefore, our inspection is limited to those areas that can be viewed without removal or dismantling any portion of them, and does not include the use of specialized equipment.



Property Inspection Report

MASTER BATHROOM:

Floor – Refer to your pest report for possible comments in this area.

Outlets – GFCI protection is provided for the outlet(s) in this area.

Shower Surround – Appeared functional and operational.

Shower pans (especially tile pans) are prone to leakage if not maintained. We do not damage shower pans to test for leakage which is in accordance with the standards of practice (Section 3.6 IV paragraph I) Routine evaluation and caulking is needed. Note verification of a membrane below the tiled pan is beyond the scope of this report.

Routine Maintenance - Caulking around the shower area should be part of a routine maintenance program.

Shower Enclosure – The heavy duty glass enclosure requires routine maintenance. Screws and or bolt should be checked periodically to insure that the guides do not separate from the glass and swing free. The manufacture installation and or maintenance instructions should be read.

Shower Faucet - Appeared functional and operational.

Cabinets / Counter Top - Only a sampling of cabinet operation was made. Final evaluation should be made by our client at the final walk through to ensure satisfaction.

Personal content within the cabinetry limits the visibility of the inspector. We do not move personal belongings during our inspection.

The cabinets and counter tops appeared functional and operational.

Sink / Faucet / Drains - Sinks and faucets along with drains are evaluated for operation, flow and drainage.

These fixtures and drains were functioning properly at this time.

Toilet - Appeared functional and operational.

Routine Maintenance - Caulking around the base of the toilet leaving an opening at the rear should be part of a routine maintenance program.



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BATHROOM #1 – UPSTAIRS HALLWAY:

Floor – Refer to your pest report for possible comments in this area.

Outlets – GFCI protection is provided for the outlet(s) in this area.

Tub - Appeared functional and operational.

Shower Surround – Appeared functional and operational.

Routine Maintenance - Caulking around the tub and shower area should be part of a routine maintenance program.

Shower Enclosure – Doors were not installed.

Shower Faucet - Appeared functional and operational.

Cabinets / Counter Top - Only a sampling of cabinet operation was made. Final evaluation should be made by our client at the final walk through to ensure satisfaction.

Personal content within the cabinetry limits the visibility of the inspector. We do not move personal belongings during our inspection.

The cabinets and counter tops appeared functional and operational.

Sink / Faucet / Drains - Sinks and faucets along with drains are evaluated for operation, flow and drainage.

These fixtures and drains were functioning properly at this time.

Toilet - Appeared functional and operational.

Routine Maintenance - Caulking around the base of the toilet leaving an opening at the rear should be part of a routine maintenance program.



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BATHROOM #2 – DOWNSTAIRS HALLWAY

Outlets – GFCI protection is provided for the outlet(s) in this area.

Shower Surround – Appeared functional and operational.

Shower pans (especially tile pans) are prone to leakage if not maintained. We do not dam shower pans to test for leakage which is in accordance with the standards of practice (Section 3.6 IV paragraph I) Routine evaluation and caulking is needed. Note verification of a membrane below the tiled pan is beyond the scope of this report.

Routine Maintenance - Caulking around the shower area should be part of a routine maintenance program.

Shower Enclosure – The heavy duty glass enclosure requires routine maintenance. Screws and or bolt should be checked periodically to insure that the guides do not separate from the glass and swing free. The manufacture installation and or maintenance instructions should be read.

Shower Faucet - Appeared functional and operational.

Cabinets / Counter Top - Only a sampling of cabinet operation was made. Final evaluation should be made by our client at the final walk through to ensure satisfaction.

Personal content within the cabinetry limits the visibility of the inspector. We do not move personal belongings during our inspection.

The cabinets and counter tops appeared functional and operational.

Sink / Faucet / Drains - Sinks and faucets along with drains are evaluated for operation, flow and drainage.

These fixtures and drains were functioning properly at this time.

Toilet - Appeared functional and operational.

Routine Maintenance - Caulking around the base of the toilet leaving an opening at the rear should be part of a routine maintenance program.



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UNDER FLOOR AREA:

Slab Foundations - This residence has a slab foundation. Such foundations can vary considerably from older ones that have no moisture barrier beneath them and no reinforcing steel within them to newer ones that have moisture barriers beneath them and adjustable reinforcing steel within them. This type is called a post-tension slab, but is often impossible to distinguish one slab type from another in which even the size and spacing of the bolts can vary, although most are concealed. Our inspection of slabs conforms to industry standards. We examine the visible portion of the stem walls on the exterior of the structure for any evidence of significant cracks or structural deformation. However, we do not move furniture or lift carpeting and padding to look for cracks, and we do not use any specialized tools or measuring devices to establish relative elevations or determine any degree of differential settling. Significantly, many slabs are built or move out of level, but the average person would not realize this until there is a difference of more than one inch in twenty feet, which most authorities describe as being tolerable. Interestingly, many slabs are found to contain cracks when the carpet and padding are removed, but there is no absolute standard for evaluating them. However, those that are less than 1/4" and which exhibit no significant vertical or horizontal displacement are not regarded as being structurally threatening. They typically result from common shrinkage, but can also be caused by a deficient mixture of concrete, deterioration through time, seismic activity, adverse soil conditions, and poor drainage, and if they are not sealed they can allow moisture to enter a residence, and particularly if the residence is surcharged by a hill or a slope, or if downspouts discharge adjacent to the slab.

Our inspection references conditions present at the time of our inspection only.

However, in the absence of any major defects, we may not recommend that you consult with a structural engineer or a foundation contractor, but this should not deter you from seeking the opinion of any such expert.

ATTIC AND MISCELLANEOUS:

Attic - Attics are inspected from the access area or platform when installed only. Climbing into the attic can cause damage to the ceiling or possible injury to the inspector.

Insulation - Insulation can conceal leaks, damage or electrical problems within the attic. We do not move or disturb insulation during or inspection.

Insulation within the walls could not be verified.

The attic is insulated to an estimated R-Value of R30



Property Inspection Report

The installation method was blown fiber.

Ventilation - Passive ventilation through the perimeter vents has been provided.

Access Opening - The access area to the attic is located in the upstairs hallway

Framing / Sheathing - An engineered truss system has been installed for roof support.

The roof sheathing material is OSB an oriented strand board.

The inner wall structure was not visible.

We do not calculate loads and or spans of roof structures. Information in this area should be obtained from a qualified structural engineer.

Carbon Monoxide Detector – Carbon Monoxide detectors are tested with the test button only. This type of test is not conclusive that the sensor is functional only that the test button feature is operational.

Carbon Monoxide detectors are installed.

A carbon monoxide detector properly located became a requirement after July 1, 2011.

A new law as noted below requires that the carbon monoxide (CO) detector(s) be installed in a manner consistent with building standards applicable to new construction or in accordance with the manufacturer's instructions. (HSC 17926)

Homes in California must have carbon monoxide (CO) detectors installed by July 2011 under a new bill signed into law by Governor Arnold Schwarzenegger on May 7, 2010.

The latest versions of California building and residential codes already demand that new dwellings in the state come equipped with CO detectors beginning in January 2011; the new law (SB 183) will hold existing homes to the same standard. Exemptions apply to homes that have no fossil fuel-burning appliances, fireplace, or attached garage.

Pets / Odors / Stains – We do not evaluate for these conditions. A specialist should be obtained for information in this area.

Vermin / Insects – Vermin and other pests are part of the natural habitat, but they often invade homes. Rats and mice have collapsible rib cages and can squeeze through even the tiniest crevices. It is not uncommon for them to establish colonies within



Property Inspection Report

crawlspaces, attics, closets, and even the space inside walls, where they can breed and become a health-hazard. Therefore, it would be prudent to have a licensed pest control company evaluate the residence to ensure that it is rodent-proof, and to periodically monitor those areas that are not readily accessible.

Information in this area may not be contained in this report.

Specifically excluded from this report is any inspection or observations relating to mold or environment conditions, birds, bats, insects, such as ants, fleas, ticks, cockroaches, bees, mites, and wood destroying insects or organisms, or rodents of all types.

General Comment - The Client should provide for personal safety and health concerns by seeking further inspections, to verify possible risk that are outside the scope of this inspection. This company does not and did not inspect for fungi, mold, asbestos, lead, pollutants, radon, environmental, biological, carcinogens, indoor air quality, hazardous substances-conditions, or compliance with codes and restrictions. Be advised that everyone's health and safety concerns are a personal responsibility and it is recommended that further inspection be done, by qualified Professionals, to ensure that this property is safe and healthy for everyone. These limitations are in compliance with Standards of Practice

Informational Only: The presence of certain mold and mold spores in housing can result in mild to severe health effects in humans and can deteriorate the structure of the dwelling resulting in structural damage. As humans vary greatly in their chemical make-up, so does the individual's reaction to mold exposure. For some people, a smaller number of mold spores can cause ill effects. In others it may take many more.

Our client is advised to refer to their mold disclosure statement for information on or testing procedures in this area. Additional information is available at epa.gov.

Please be advised that testing is an indicator of conditions at the time the sampling occurred. As conditions can change over time, this is an indicator of the type of mold in the area tested at the time the test was taken.

This is not a guarantee and it should not be construed that mold does not exist or will not exist in other area of the home or property now or in the future.

Pools / Spa / Ponds – When pools, spas or ponds are located on the property specific safety equipment are a requirement. Refer to your pool, pond or spa report and contact the local building department for requirements in this area.



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Chinese Drywall – The inspection for Chinese drywall is beyond the scope of this report. Contact the builder for information in this area or information is available from the Consumer Products Safety Commission at CPSC.gov.

General Comment - When repairs or additional inspections are recommended they should be performed prior to close of escrow or within your contract period by licensed professionals. These professionals may identify additional defects. Some upgrades may also be required or recommended which may affect our client's evaluation of the property.

Notice to Buyers and or Sellers: Repairs that require permits may be subject to new Title 24 energy efficiency requirements.

Effective January 1, 2017 water conservation mandated by the state, which include water saving improvement to fixture within the home is a requirement.

This legislation requires that water conservation plumbing fixtures be installed throughout the home as a condition of building permits applied for after January 1, 2014.

As of January 1, 2017 all residences built prior to **January 1, 1994** must comply with these requirements and homeowners are required to install water saving fixtures. The **Authority Having Jurisdiction** will be tasked with the enforcement of the new laws.

A written disclosure by the seller is required after January 1, 2017.

These requirements will add additional cost to those repairs. We recommend that the repairing contractor provide you with a cost estimates.

End of the Comment Section

Other information may be contained in the following pages.



Property Inspection Report

SERVING THE REAL ESTATE COMMUNITY WITH PRIDE.

ITEM	INSPECTED		EXTERIOR																		
			* = COMMENT		X=PHOTO																
GENERAL APPEARANCE			ABOVE AVERAGE FOR AREA				AT AREA AVERAGE														
STUCCO / SIDING / TRIM			STUCCO		CRACKING	STYROFOAM		WOOD		COMPOSITE / VENEER											
DRIVEWAY/ WALKWAY			CONCRETE		ASPHALT	CRACKING	HEAVY OIL STAIN / OTHER COMMENTS														
HOSE BIBS			FRONT		REAR		SIDES	VALVES LEAKING													
SPRINKLERS FRONT / REAR		*	FRONT		REAR																
PERIMETER GRADING		*	GRADE SLOPES AWAY FROM STRUCTURE				*	SEE COMMENT SECTION FOR INFO.													
CHAIN LINK / WIRE FENCE	N/A		FRONT		SIDE		REAR		NEEDS REPAIR												
CONCRETE FENCE/WALL			FRONT		SIDE		REAR		NEEDS REPAIR												
WOOD FENCE		*	FRONT		SIDE		REAR		NEEDS REPAIR												
GATES		*	YES		NO		WOOD		CHAIN LINK		IRON		NEEDS REPAIR								
RAILINGS / STAIRS	N/A		SPACING OK	YES		NO		NEEDS REPAIR													
PATIO / DECK / PORCH			YES		NO		CONCRETE		BRICK		COMPOSIT		WOOD								
PATIO COVER		*	YES		NO		LATTIS / TRELLIS		WOOD		METAL		DETERIORATION								
FOUNDATION TYPE			CONCRETE SLAB				RAISED		CONCRETE BLOCK			OTHER TYPE									
WINDOWS / SCREENS		*	YES		NO		SEE EACH ROOM FOR INFO														
TV SYSTEM			CABLE		ANTENNA																
EXTERIOR LIGHTING			YES		NO		FRONT		REAR		SIDE										
WINDOW FRAMES		*	ALUM		VINYL		WOOD		DUAL PANE			SINGLE									
CHIMNEY / FLUE			YES		NO		SPARK ARRESTOR	YES		NO	SCREEN ONLY										
EXTERIOR OUTLETS		*	YES		NO		GFI	YES		NO											
UNSAFE WIRING			YES		NO		EXPOSED ROMEX			OPEN J-BOX		SPLICE		OTHER							
POOL / SPA / POND		*	YES		NO	POOLS, PONDS AND SPA'S ARE NOT INSPECTED. A SPECIALIST SHOULD BE OBTAINED.															
STORAGE SHED		*	YES		NO	STORAGE SHEDS ARE NOT INSPECTED. ANY COMMENTS ARE INFORMATIONAL ONLY.															

COMMENTS: THE SIGN "*" MEANS "SEE COMMENT SECTION".

THE SIGN "X" MEANS "SEE PHOTO AND COMMENT SECTION".



Property Inspection Report

SERVING THE REAL ESTATE COMMUNITY WITH PRIDE.

ITEM	INSPECTED				ROOF																
			* = COMMENT X=PHOTO		WE RECOMMEND A ROOF CERTIFICATION																
					YES				NO												
TYPE OF CONSTRUCTION	X		FRAMED		TRUSS	X	SPACE SHEETING				PLYWOOD				OSB				X		
COMPOSITION*	N/A		LOSING GRANULES		CRACKED/CURLING				MISSING / LOOSE												
CEDAR *	N/A		SHAKE		SHINGLE	MISSING / LOOSE				MOLD				EXP. NAILS							
TILE *	X	*	CONCRETE TILES		TILE MISSING				BROKEN				CRACKED / LOOSE								
TAR & GRAVEL*	N/A		PONDING		BUBBLING				GRAVEL				ROCK MSN'G				HOT TAR				
METAL *	N/A		METAL LIFTING		DAMAGED AREA				LOOSE				MISSING								
NUMBER OF RECOVERS	X	*	ORIGINAL	X	1		2		3		4										
TYPE OF ROOF	X		GABLED	X	SLOPED				"A" FRAME				FLAT				MANSARD				
FLASHING	X	*	METAL	X	PAINTED				UNPAINTED				NEEDS REPAIR								
VENT CAPS	X	*	YES	X	NO	MISSING				0	X	1	2	3	4	ALL					
GUTTERS (NOTE #2)	X	X	YES	X	NO	METAL				X	PLASTIC				LEAVES / DEBRIS						
DOWN SPOUTS	X	*	YES	X	NO	METAL				X	PLASTIC				LEAVES / DEBRIS						
OVER HANG / EAVES	X	X	YES	X	NO	OPEN				X	SOFFIT				DRY ROT				YES	*	NO
FASCIA	X	X	YES	X	NO	DRY ROT				YES	*	NO									
ROOF TURBINES	X		YES		NO	X															
DORMERS	X		YES		NO	X															
SKY LIGHTS	X		YES		NO	X				EVIDENCE OF LEAKS											
TREES OR DEBRIS ON ROOF	X		YES		NO	X															

NOTE (*) ROOFS ARE NOT WALKED ON TO AVOID CAUSING DAMAGE. THEY ARE VISUALLY INSPECTED.

OUR EVALUATION OF THE ROOF IS TO DETERMINE IF PORTIONS ARE MISSING AND/OR DETERIORATING THEREFORE

SUBJECT TO POSSIBLE LEAKING. UNDERLAYMENT AND DECKING ARE HIDDEN FROM VIEW AND CANNOT BE EVALUATED BY VISUAL

INSPECTION. OUR REVIEW IS NOT A GUARANTEE AGAINST ROOF LEAKS, NOR A CERTIFICATION. IF SUCH AN INSPECTION IS DESIRED

WE SUGGEST CONTACTING A LICENSED ROOFER. NOTE (#2) GUTTERS ARE NOT WATER TESTED FOR LEAKAGE.

COMMENTS: THE SIGN "*" MEANS "SEE COMMENT SECTION".

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Property Inspection Report

SERVING THE REAL ESTATE COMMUNITY WITH PRIDE.

ITEM	INSPECTED				PLUMBING SYSTEM															
			* = COMMENT X=PHOTO																	
WATER SYSTEM	X		PUBLIC	X	COUMMUNITY		WELL		OTHER											
WATER LINE	X	*	GALVANIZED		PLASTIC		COPPER	X	PVC		OTHER									
MAIN SHUT OFF VALVE	X		YES	X	NO		VALVE LEAKING													
ANTI-SIPHON DEVICE	X	*	YES		NO	X														
WATER PRESSURE	X	*	AT FRONT		52	NEEDS REGULATOR	YES		NO	X										
PRESSURE REGULATOR	X		YES	X	NO															
WASTE / VENT PIPING	X	*	ABS	X	CAST IRON		GALVANIZED		PVC		COPPER		OTHER							
WASTE DISPOSAL	X		MUNICIPAL	X	SEPTIC		OTHER													
WATER HEATER *	X	X	GAS	X	ELECTRIC		GALLONS	50	COLLECTION PAN	YES	X	NO								
GAS SUPPLY	X		GAS PIPING / FLEX LINE	YES	X	NO	SEDIMENT DRIP LEG	YES	NO	X	GRND BOND									
	N/A		YELLOW GAS FLEX LINE	YES		NO														
WATER HTR LOCATION	X		HOUSE		GARAGE	X	EXTERNAL CLOSET													
EARTHQUAKE STRAP	X	X	YES		NO	X	REQUIRED FOR SAFETY													
WATER HTR PLATFORM	X		YES	X	NO		WATER DAMAGED	YES		NO	X									
PRESSURE RELIEF VALVE	X	X	YES	X	NO		PLUMBED AWAY	YES		NO	X									
WATER HTR PLUMBING	X		FLEXIBLE LINES	YES	X	NO	CORODED													
WATER HTR BLANKET	X		YES		NO	X	NEEDS TRIMMING	YES		NO										
WATER HTR VENT PIPE	X	*	YES	X	NO		WE DO NOT TEST VENT PIPING FOR ASBESTOS**													
COMBUSTION AIR	X	*	YES	X	NO		VENTED CLOSET		OPEN GARAGE AREA	X	LIVING AREA									
							DIRECT VENT		OPEN AREA		OPEN ATTIC									
WATER HTR SHUT OFF	X		YES	X	NO		VALVE LEAKING													

COMMENTS: THE SIGN "*" MEANS "SEE COMMENT SECTION".

THE SIGN "X" MEANS "SEE PHOTO AND COMMENT SECTION".

* WE DO NOT EVALUATE THE GAS SUPPLY SYSTEM FOR LEAKS OR PRESSURE ON GAS WATER HEATERS / FURNACES OR OTHER APPLIANCES.

** OLDER HOMES MAY CONTAIN ASBESTOS VENT PIPING.



Property Inspection Report

SERVING THE REAL ESTATE COMMUNITY WITH PRIDE.

ITEM	INSPECTED				HEATING AND AIR CONDITIONING											
			* = COMMENT X=PHOTO													
AIR CONDITIONING	X	*	YES	X	NO	CENTRAL	X	WALL		WINDOW		NEEDS REPAIR				
HEATING	X	*	YES	X	NO	WALL FURNACE		CENTRAL	X	FLOOR		NEEDS REPAIR				
LOCATION	X		HALL CLOSET		GARAGE		ATTIC	X	ROOF		EXTERIOR CABINET					
PLATFORM OR CAT WALK	X		YES	X	NO	NEEDS REPAIR										
ENERGY SOURCE	X	*	GAS	X	GAS VALVE	X	ELECTRIC		PROPANE		OIL		SOLAR		OTHER	
GAS SUPPLY	X		GAS PIPING / FLEX LINE	YES	X	NO		SEDIMENT DRIP LEG	YES	X	NO					
	N/A		YELLOW GAS FLEX LINE	YES		NO										
THERMOSTAT LOCATION	X		HALL	X	ENTRY		ON WALL FURNACE		OPERATIONAL	YES	X	NO				
DUAL ZONE CONTROL	X		YES	X	NO	DUAL ZONE CONTROL UNITS ARE NOT EVALUATED.										
VENTING	X	*	YES	X	NO	WE DO NOT TEST VENT PIPING FOR ASBESTOS**										
AIR PLENUM	X		YES	X	NO	SEALED TO HEATER	YES	X	NO		NEEDS TAPE					
COMBUSTION AIR	X	*	YES	X	NO	VENTED CLOSET		OPEN GARAGE AREA		LIVING AREA						
						DIRECT VENT		OPEN AREA		VENTED ATTIC		X				
AIR PURIFIERS	X		YES		NO	X										
DUCT SYSTEM	X	*	YES	X	NO	INSULATED	YES	X	NO							
FILTER	X	*	YES	X	NO	NEEDS REPLACEMENT / CLEANING	YES	X	NO							
COMPRESSOR LOCATION	X		FRONT		REAR		SIDE	X	ROOF		PAD	YES	X	NO		
ELECTRIC DISCONNECT	X	*	YES	X	NO											
REFRIGERANT LINE INSUL	X		YES	X	NO	NEEDS REPLACING	YES		NO	X						
CONDENSOR DRAIN	X	*	YES	X	NO	SUMP PUMP TYPE	YES		NO	X	AIR GAP	YES	X	NO		
HEAT PUMP	X		YES		NO	X										
SWAMP COOLER	X		YES		NO	X	ROOF		WALL		WINDOW		NEEDS REPAIR			

NOTES: WE DO NOT LIGHT PILOT LIGHTS. IF PILOTS ARE OUT, A FULL INSPECTION IS NOT POSSIBLE. IT IS SUGGESTED THAT THE

HEATING SYSTEM BE ACTIVATED AND FULLY INSPECTED BEFORE THE CLOSE OF ESCROW. ELECTRONIC AIR CLEANERS,

DEHUMIDIFIERS, AND HEAT EXCHANGERS ARE BEYOND THE SCOPE OF THIS INSPECTION. ASBESTOS MATERIALS HAVE BEEN

COMMONLY USED IN HEATING SYSTEMS. DETERMINING THE PRESENTS OF ASBESTOS CAN ONLY BE PERFORMED BY LABORATORY

TESTING AND IS BEYOND THE SCOPE OF THIS INSPECTION! ACCURATE HOME INSPECTIONS DOES NOT TEST FOR ASBESTOS.

NOTE: ** OLDER HOMES MAY CONTAIN ASBESTOS INSULATION ON VENT PIPING / DUCTING.

COMMENTS: THE SIGN "*" MEANS "SEE COMMENT SECTION". THE SIGN "X" MEANS "SEE PHOTO AND COMMENT SECTION"



Property Inspection Report

SERVING THE REAL ESTATE COMMUNITY WITH PRIDE.

ITEM	INSPECTED		ELECTRICAL SYSTEM												
			* = COMMENT X=PHOTO												
SERVICE TO MAIN	X		UNDER GROUND	X	OVERHEAD		OVERHEAD CLEARANCE OK	YES		NO					
SOLAR EQUIPPED *	X	*	CONTROL PANEL	X	DISCONNECT	X	*SPECIALIZED EQUIPMENT REQUIRED FOR TESTING. EVALUATION BY THE SERVICE PROVIDER IS RECOMMENDED								
SUPPLY VOLTAGE	X	*	120 VOLTS AC	X	240 VOLTS AC	X									
SERVICE /SUB PANEL	X	*	AMPERAGE	200	SUB-PANEL	YES		NO	X	ZINSCO		FPE		OTHER	X
OUTLETS GROUNDED	X	*	YES	X	NO		SYSTEMS NOT GROUNDED ON OLDER HOMES								
FUSES AND/OR BREAKER	X	*	FUSES	YES		NO	X	BREAKERS	YES	X	NO	MARKED	YES	X	NO
WIRING	X	*	COPPER	X	ALUMINUM		ALUMINUM GROUND WIRE	YES		NO	X				
GROUND	X	*	YES	X	NO		CABLE TO BAR	X	CABLE TO PIPE	X					
ARC FAULT BREAKER	X	*	YES		NO	X									
G.F.C.I BREAKER	X		YES		NO	X									
LANDSCAPE LIGHTING	X		YES		NO	X	NEEDS REPAIR	YES		NO		LOW VOLTAGE NOT TESTED			

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Property Inspection Report

SERVING THE REAL ESTATE COMMUNITY WITH PRIDE.

ITEM	INSPECTED				LAUNDRY AREA													
			* = COMMENT		X=PHOTO													
LOCATION	X		GARAGE		HOUSE	X												
WALLS	X		DRYWALL	X	PLASTER		OPEN FRAMING											
CEILING	X		DRYWALL	X	PLASTER		OPEN FRAMING											
FLOORS	X		LINO		TILE	X	VINYL		CERAMIC		LAMINATE		CONCRETE					
DOOR / MOLDING	X		WOOD	X	PAINTED	X	STAINED		OTHER									
WATER SUPPLY*	X		HOT	X	COLD	X	LEAKING	YES		NO	X							
DRAIN	X		YES	X	NO		DRAIN PIPE	X	LAUNDRY SINK									
DRYER ENERGY SOURCE	X	X	120 VOLTS			240 VOLTS		X	GAS	X	FLEX GAS LINE	YES		NO	X			
SWITCHES	X		YES	X	NO													
WINDOWS	N/A		ALU		VINYL		WOOD		SGL PANE		DUAL PANE							
SCREENS	N/A		MISSING		NEEDS REPAIR													
OUTLETS	X	*	G.F.I.	YES		NO	X											
LIGHT FIXTURE(S)	X		WALL		CEILING	X	WALL SWITCHED	X										
DRYER VENT	X	*	YES	X	NO		TO OUTSIDE	YES	X	NO								
EXHAUST FAN	X		YES	X	NO		OPERATIONAL	YES	X	NO	NOISY							
SMOKE DETECTOR	X		YES		NO	X	OPERATIONAL	YES		NO	BATTERY	WIRED						
LAUNDRY SINK	X		YES		NO	X	LEAKING	YES		NO								
HEATING VENT	X		YES	X	NO		WALL		CEILING	X	FLOOR							

***NOTE: WE DO NOT DISCONNECT THE SUPPLY HOSES TO THE WASHER, NOR DO WE OPERATE THE VALVES**

THESE CAN LEAK AT ANY TIME AND SHOULD BE CONSIDERED A PART OF NORMAL MAINTENANCE.

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Property Inspection Report

SERVING THE REAL ESTATE COMMUNITY WITH PRIDE.

ITEM	INSPECTED				ENTRY AND HALLWAY															
			* = COMMENT	X = PHOTO																
WALLS	X	*	DRYWALL	X	TEXTURED	X	PLASTER		SMOOTH											
CEILING	X		DRYWALL	X	TEXTURED	X	PLASTER		ACOUSTIC											
FLOOR	X		TILE	X	WOOD		LAMINATE		CARPET	X	VINYL									
ENTRY DOOR / MOLDING	X		YES	X	NO		PAINTED	X	WOOD	X	STAINED		METAL							
DOOR KNOB / LOCK	X		YES	X	NO		DEAD BOLT	X												
RAILINGS / STAIRS	X	*	SPACING OK	YES	X	NO		NEEDS REPAIR												
WINDOWS	X		ALU		VINYL	X	WOOD		DUAL PANE	X	SINGLE PANE									
HEATING VENT	X		YES		NO	X	WALL		CEILING		FLOOR									
SWITCHES	X		YES	X	NO															
OUTLETS	X		YES	X	NO															
LIGHT FIXTURE(S)	X		YES	X	NO		WALL		CEILING	X	WALL SWITCHED	X								
PORCH LIGHT	X		YES	X	NO		WALL SWITCH	X	PHOTO CELL		COVER MISSING									
DOOR BELL	X		YES	X	NO		CHIME	X	BELL		KNOCKER									
SMOKE DETECTOR	X	*	YES	X	NO		OPERATIONAL	YES	X	NO	X									
CLOSET(S)	X		YES	X	NO		WALK IN	X	BYPASS		MIRRORED		NEEDS REPAIR							
LINEN CABINET / CLOSET	X		YES	X	NO															
CEILING FAN	X		YES		NO	X														
SKYLIGHT	X		YES		NO	X	EVIDENCE OF LEAKS	YES		NO										
SCREENS	N/A		MISSING				NEEDS REPAIR													
CARBON MONOXIDE DETECTOR	X		YES	X	NO		OPERATIONAL	YES	X	NO										




Property Inspection Report

SERVING THE REAL ESTATE COMMUNITY WITH PRIDE.

ITEM	INSPECTED		LIVING ROOM / DINING AREA													
			* = COMMENT X=PHOTO													
WALLS	X		DRYWALL	X	PLASTER		TEXTURED	X	SMOOTH							
CEILING	X		DRYWALL	X	PLASTER		TEXTURED	X	ACOUSTIC			SMOOTH				
FLOOR	X		CARPET	X	LAMINATE		VINYL		WOOD	X	TILE					
SWITCHES	X		YES	X	NO											
OUTLETS	X		YES	X	NO											
LIGHT FIXTURE(S)	X		YES	X	NO	WALL		CEILING	X	WALL SWITCHED	X					
DOORS / MOLDING	X		YES	X	NO	PAINTED	X	WOOD	X	STAINED		OTHER				
WINDOW(S)	X		ALU		VINYL	X	WOOD		DUAL PANE	X	SINGLE PANE					
PATIO DOOR	N/A		ALU		VINYL		WOOD		DUAL PANE		SINGLE PANE		SAFETY GLASS			
SKYLIGHT	X		YES		NO	X	EVIDENCE OF LEAKS	YES		NO						
HEATING VENT	X		YES	X	NO	WALL		CEIL	X		FLOOR					
SMOKE DETECTOR	X		YES		NO	X	OPERATIONAL	YES		NO						
CEILING FAN / LIGHT	X		YES	X	NO		NEEDS REPAIR	YES		NO	X					
FIREPLACE / INSERT	X		YES		NO	X	SCREEN		GLASS DOOR		GAS VALVE		HEARTH			
FIREPLACE DAMPER / BOX	X		YES		NO	X	CRACKING		NEEDS CLEANING	YES		NO				
WET BAR	X		YES		NO	X	STEEL		CAST IRON		CERAMIC		LEAKS			
SCREENS	X		MISSING				NEEDS REPAIR									

COMMENTS: THE SIGN " * " MEANS "SEE COMMENT SECTION".

THE SIGN " X " MEANS "SEE PHOTO AND COMMENT SECTION".

		<h1 style="text-align: center;">Property Inspection Report</h1>												
SERVING THE REAL ESTATE COMMUNITY WITH PRIDE.														
ITEM	<div style="display: flex; align-items: center;"> ↙ ↘ <div style="margin-left: 10px;"> INSPECTED * = COMMENT X=PHOTO </div> </div>										KITCHEN AND EATING AREA			
	WALLS	X		DRYWALL	X	PLASTER		TEXTURED	X	SMOOTH				
CEILING	X		DRYWALL	X	PLASTER		TEXTURED	X	ACOUSTIC		SMOOTH			
FLOOR	X		CARPET		LAMINATE		VINYL		WOOD		TILE	X		
SWITCHES	X		YES	X	NO									
OUTLETS	X	*	G.F.I	YES	X	NO		RECOMMENDED FOR SAFETY						
LIGHT FIXTURE(S)	X		YES	X	NO		WALL		CEILING	X	WALL SWITCHED	X		
DOORS / MOLDING	X		YES	X	NO		PAINTED	X	WOOD	X	STAINED		OTHER	
WINDOW(S)	X		ALU		VINYL	X	WOOD		DUAL PANE	X	SINGLE PANE			
PATIO DOOR	X	*	ALU		VINYL	X	WOOD		DUAL PANE	X	SINGLE PANE		SAFETY GLASS	X
SKYLIGHT	X		YES		NO	X	EVIDENCE OF LEAKS		YES		NO			
HEATING VENT	X		YES	X	NO		WALL		CEILING	X	FLOOR			
SMOKE DETECTOR	X		YES		NO	X	OPERATIONAL	YES		NO				
CABINETS	X	*	WOOD	X	STAINED	X	PAINTED		METAL		VISIBILITY LIMITED PERSONAL CONTENT			
COUNTER TOPS	X	*	FORMICA		CERAMIC TILE		CULTURED MARBLE		OTHER	X				
SINK/FAUCET	X	*	STEEL	X	CAST IRON		CERAMIC		LEAKS		OTHER			
DRAIN	X	*	LEAKS AT TRAP				OTHER CONDITIONS							
GARBAGE DISPOSAL	X	*	YES	X	NO		LEAKS	YES		NO	X			
DISH WASHER**	X	*	YES	X	NO		LEAKS	YES		NO	X			
STOVE/OVEN	X	*	GAS	X	ELECTRIC	X	HOOD EXHAUST FAN		X	VENTED	X	LIGHT	X	
UNSAFE WIRING	X		YES		NO	X	EXPOSED ROMEX		OPEN J-BOX		SPLICE		OTHER	
SCREENS	X		MISSING			NEEDS REPAIR								
MICROWAVE	X		YES	X	NO		BUILT-IN	X	MAY BE BELOW MINIMUM		YES		NO	X
CEILING FAN/LIGHT	X		YES		NO	X	NEEDS REPAIR	YES		NO				
** OUR REVIEW IS TO DETERMINE IF THE SYSTEM IS FREE OF LEAKS AND EXCESSIVE CORROSION AT THE TIME OF THE INSP.														
COMMENTS:	THE SIGN " * " MEANS "SEE COMMENT SECTION".													
	THE SIGN " X " MEANS "SEE PHOTO AND COMMENT SECTION".													



Property Inspection Report

SERVING THE REAL ESTATE COMMUNITY WITH PRIDE.

ITEM	INSPECTED				BEDROOM #1 DOWNSTAIRS RIGHT									
			* = COMMENT	X=PHOTO										
WALLS	X				DRYWALL	X	PLASTER		TEXTURED	X	SMOOTH			
CEILING	X	X			DRYWALL	X	PLASTER		TEXTURED	X	ACOUSTIC		SMOOTH	
FLOOR	X				CARPET	X	LAMINATE		VINYL		WOOD		TILE	
SWITCHES	X				YES	X	NO							
OUTLETS	X				YES	X	NO							
LIGHT FIXTURE(S)	X				YES	X	NO		WALL		CEILING	X	WALL SWITCHED	X
DOORS / MOLDING	X				YES	X	NO		PAINTED	X	WOOD	X	STAINED	OTHER
WINDOW(S)	X				ALU		VINYL	X	WOOD		DUAL PANE	X	SINGLE PANE	
PATIO DOOR	N/A				ALU		VINYL		WOOD		DUAL PANE		SINGLE PANE	SAFETY GLASS
SKYLIGHT	X				YES		NO	X	EVIDENCE OF LEAKS	YES		NO		
HEATING VENT	X				YES	X	NO		WALL		CEILING	X	FLOOR	
SMOKE DETECTOR	X	*			YES	X	NO		OPERATIONAL	YES	X	NO	RECOMMENDED FOR SAFETY	
CEILING FAN	X				YES		NO	X	NEEDS REPAIR	YES		NO		
CLOSETS	X	*			WALK IN	X	BYPASS		MIRRORED		DOORS MISSING			
SCREENS	X				MISSING		NEEDS REPAIR							

COMMENTS: THE SIGN " * " MEANS "SEE COMMENT SECTION".

THE SIGN " X " MEANS "SEE PHOTO AND COMMENT SECTION".



Property Inspection Report

SERVING THE REAL ESTATE COMMUNITY WITH PRIDE.

ITEM	INSPECTED				BEDROOM #3								
	* = COMMENT X=PHOTO				UPSTAIRS RIGHT CENTER								
WALLS	X	*	DRYWALL	X	PLASTER		TEXTURED	X	SMOOTH				
CEILING	X		DRYWALL	X	PLASTER		TEXTURED	X	ACOUSTIC		SMOOTH		
FLOOR	X		CARPET	X	LAMINATE		VINYL		WOOD		TILE		
SWITCHES	X		YES	X	NO								
OUTLETS	X		YES	X	NO								
LIGHT FIXTURE(S)	X		YES	X	NO	WALL		CEILING	X	WALL SWITCHED	X		
DOORS / MOLDING	X		YES	X	NO	PAINTED	X	WOOD	X	STAINED		OTHER	
WINDOW(S)	X		ALU		VINYL	X	WOOD		DUAL PANE	X	SINGLE PANE		
PATIO DOOR	N/A		ALU		VINYL		WOOD		DUAL PANE		SINGLE PANE		SAFETY GLASS
SKYLIGHT	X		YES		NO	X	EVIDENCE OF LEAKS	YES		NO			
HEATING VENT	X		YES	X	NO	WALL		CEILING	X	FLOOR			
SMOKE DETECTOR	X	*	YES	X	NO	OPERATIONAL	YES	X	NO		RECOMMENDED FOR SAFETY		
CEILING FAN	X	*	YES	X	NO	NEEDS REPAIR	YES	X	NO				
CLOSETS	X	*	WALK IN		BYPASS	X	MIRRORED	X	DOORS MISSING				
SCREENS	X		MISSING		NEEDS REPAIR								

COMMENTS: THE SIGN "*" MEANS "SEE COMMENT SECTION".

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Property Inspection Report

SERVING THE REAL ESTATE COMMUNITY WITH PRIDE.

ITEM	INSPECTED				MASTER BATHROOM															
			* = COMMENT X=PHOTO																	
WALLS	X		DRYWALL	X	PLASTER		TEXTURED	X	SMOOTH											
CEILING	X		DRYWALL	X	PLASTER		TEXTURED	X	ACOUSTIC			SMOOTH								
FLOOR	X	*	CARPET		LAMINATE		VINYL		WOOD		TILE	X								
SWITCHES	X		YES	X	NO															
OUTLETS	X	*	YES	X	NO		G.F.I. PROTECTED	YES	X	NO		REQUIRED BY CODE								
LIGHT FIXTURE(S)	X		YES	X	NO		WALL	X	CEILING	X	WALL SWITCHED		X							
DOORS / MOLDING	X		YES	X	NO		PAINTED	X	WOOD	X	STAINED		OTHER							
WINDOW(S)	X		ALU		VINYL	X	WOOD		DUAL PANE	X	SINGLE PANE									
TUB	X		YES		NO	X	FIBERGLASS		STEEL		CAST IRON		OTHER							
SKYLIGHT	X		YES		NO	X	EVIDENCE OF LEAKS	YES		NO										
HEATING VENT	X		YES	X	NO		WALL		CEILING	X	FLOOR									
SHOWER / SURROUND	X	*	YES	X	NO		CERAMIC TILE	X	FIBERGLASS		OTHER		NEEDS CAULK							
SHOWER ENCLOSURE	X	*	YES	X	NO		DOOR	X	SAFETY GLASS	X	CURTAIN		PLASTIC							
SHOWER FAUCET	X	*	YES	X	NO		LEAKS		CORRODED											
SCREENS	X		MISSING		NEEDS REPAIR															
PATIO / DECK OR BALCONY	X		YES		NO	X	CONCRETE		WOOD		RAILING		WROUGHT IRON							
CLOSETS	X		WALK IN	X	BYPASS	X	MIRRORED	X	DOORS MISSING											
CABINETS	X	*	WOOD	X	STAINED		PAINTED	X	METAL		VISIBILITY LIMITED		PERSONAL CONTENT							
COUNTER TOPS	X	*	FORMICA		CERAMIC TILE		CULTURED MARBLE		OTHER	X										
SINK/FAUCET	X		STEEL		CULTURED MARBLE		CERAMIC		X	LEAKS		OTHER								
EXHAUST FAN	X		YES	X	NO		OPERATIONAL	YES	X	NO										
LAVATORY / TOILET	X	*	LEAKS AT BASE		CRACKED BASE		LOOSE		BALL COCK LEAKS											

COMMENTS: THE SIGN " * " MEANS "SEE COMMENT SECTION".

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Property Inspection Report

SERVING THE REAL ESTATE COMMUNITY WITH PRIDE.

ITEM	INSPECTED				BATHROOM #1 UPSTAIRS HALLWAY								
			* = COMMENT X=PHOTO										
WALLS	X		DRYWALL	X	PLASTER		TEXTURED	X	SMOOTH				
CEILING	X		DRYWALL	X	PLASTER		TEXTURED	X	ACOUSTIC		SMOOTH		
FLOOR	X	*	CARPET		LAMINATE		VINYL	X	WOOD		TILE		
SWITCHES	X		YES	X	NO								
OUTLETS	X	*	YES	X	NO		G.F.I. PROTECTED	YES	X	NO		REQUIRED BY CODE	
LIGHT FIXTURE(S)	X		YES	X	NO		WALL	X	CEILING	X	WALL SWITCHED		X
DOORS / MOLDING	X		YES	X	NO		PAINTED	X	WOOD	X	STAINED		OTHER
WINDOW(S)	X		ALU		VINYL	X	WOOD		DUAL PANE	X	SINGLE PANE		
TUB	X	*	YES	X	NO		FIBERGLASS		STEEL		CAST IRON		OTHER
SKYLIGHT	X		YES		NO	X	EVIDENCE OF LEAKS	YES		NO			
HEATING VENT	X		YES	X	NO		WALL		CEILING	X	FLOOR		
SHOWER / SURROUND	X	*	YES	X	NO		CERAMIC TILE		FIBERGLASS		OTHER	X	NEEDS CAULK
SHOWER ENCLOSURE	X	*	YES	X	NO		DOOR		SAFETY GLASS		CURTAIN	X	PLASTIC
SHOWER FAUCET	X	*	YES	X	NO		LEAKS		CORRODED				
SCREENS	X		MISSING		NEEDS REPAIR								
DECK OR BALCONY	X		YES		NO	X	CONCRETE		WOOD		RAILING		WROUGHT IRON
CLOSETS	N/A		WALK IN		BYPASS		MIRRORED				DOORS MISSING		
CABINETS	X	*	WOOD	X	STAINED		PAINTED	X	METAL		VISIBILITY LIMITED PERSONAL CONTENT		
COUNTER TOPS	X	*	FORMICA		CERAMIC TILE		CULTURED MARBLE	X	OTHER				
SINK/FAUCET	X	*	STEEL		CULTURED MARBLE	X	CERAMIC		LEAKS		OTHER		
EXHAUST FAN	X		YES		NO	X	OPERATIONAL	YES		NO			
LAVATORY / TOILET	X	*	LEAKS AT BASE		CRACKED BASE		LOOSE		BALL COCK LEAKS				

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Property Inspection Report

SERVING THE REAL ESTATE COMMUNITY WITH PRIDE.

ITEM	INSPECTED				BATHROOM #2 DOWNSTAIRS HALLWAY								
			* = COMMENT X=PHOTO										
WALLS	X		DRYWALL	X	PLASTER		TEXTURED	X	SMOOTH				
CEILING	X		DRYWALL	X	PLASTER		TEXTURED	X	ACOUSTIC		SMOOTH		
FLOOR	X		CARPET		LAMINATE	X	VINYL		WOOD		TILE		
SWITCHES	X		YES	X	NO								
OUTLETS	X	*	YES	X	NO	G.F.I. PROTECTED	YES	X	NO	REQUIRED BY CODE			
LIGHT FIXTURE(S)	X		YES	X	NO	WALL	X	CEILING	X	WALL SWITCHED		X	
DOORS / MOLDING	X		YES	X	NO	PAINTED	X	WOOD	X	STAINED		OTHER	
WINDOW(S)	N/A		ALU		VINYL		WOOD		DUAL PANE		SINGLE PANE		
TUB	X		YES		NO	X	FIBERGLASS		STEEL		CAST IRON		OTHER
SKYLIGHT	X		YES		NO	X	EVIDENCE OF LEAKS	YES		NO			
HEATING VENT	X		YES	X	NO	WALL		CEILING	X	FLOOR			
SHOWER / SURROUND	X	*	YES	X	NO	CERAMIC TILE	X	FIBERGLASS		OTHER		NEEDS CAULK	
SHOWER ENCLOSURE	X	*	YES	X	NO	DOOR	X	SAFETY GLASS	X	CURTAIN		PLASTIC	
SHOWER FAUCET	X	*	YES	X	NO	LEAKS		CORRODED					
SCREENS	N/A		MISSING		NEEDS REPAIR								
DECK OR BALCONY	X		YES		NO	X	CONCRETE	WOOD		RAILING		WROUGHT IRON	
CLOSETS	N/A		WALK IN		BYPASS		MIRRORED		DOORS MISSING				
CABINETS	X	*	WOOD	X	STAINED		PAINTED	X	METAL		VISIBILITY LIMITED PERSONAL CONTENT		
COUNTER TOPS	X	*	FORMICA		CERAMIC TILE		CULTURED MARBLE		OTHER		X		
SINK/FAUCET	X	*	STEEL		CULTURED MARBLE		CERAMIC		X	LEAKS		OTHER	
EXHAUST FAN	X		YES	X	NO	OPERATIONAL	YES	X	NO				
LAVATORY / TOILET	X	*	LEAKS AT BASE		CRACKED BASE		LOOSE	BALL COCK LEAKS					

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SERVING THE REAL ESTATE COMMUNITY WITH PRIDE.

ITEM	INSPECTED				UNDER FLOOR AREA							
	* = COMMENT X=PHOTO											
UNDER FLOOR	N/A	WET	DRY	LIMITED	STANDING OR EXCESSIVE MOISTURE				CLUTTERED			
FLOOR INSULATION / EST. R VALUE*	N/A	YES	NO	FIBER BATTS	R19	R30	INSULATION NEEDS REPAIR					
DRAINAGE SYSTEMS / SUMP PUMPS	N/A	YES	NO	LOCATION UNDERFLOOR								
FOUNDATION	X	*	CRACKING		RAISED		CONCRETE SLAB		X	OTHER CONDITIONS		
SUPPORTS	N/A	LOOSE	MISSING	NEEDS REPAIR		DETERIORATED		METAL JACKS				
ANCHORING / BRACING	N/A	YES	NO	NEEDS REPAIR		MISSING		OTHER				
SILL	N/A	YES	NO	NEEDS REPAIR		DETERIORATED		OTHER				
WOOD TO SOIL CONTACT	N/A	YES	NO	CELLULOSE DEBRIS								
VENTILATION	N/A	YES	NO	PASSIVE VENTING		NEEDS SCREENS		OTHER				
UNSAFE WIRING	N/A	YES	NO	SPLICES		OPEN J - BOX		WIRING ON GROUND				
DUCTING	N/A	YES	NO	NEEDS REPAIR		YES	NO					
AREA ACCESS	N/A	YES	NO	LIMITED		LOCATION		EVIDENCE OF VERMIN				

* INSULATION CAN CONCEAL EVIDENCE OF LEAKS OR ELECTRICAL PROBLEMS.

** IF THIS HOME WAS INSULATED BEFORE 1978, WE RECOMMEND IT BE TESTED FOR ASBESTOS!

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Property Inspection Report

SERVING THE REAL ESTATE COMMUNITY WITH PRIDE.

Service Providers in our Area

GAS & ELECTRIC

PG & E	All areas	800-743-5000
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PHONE SERVICE

A T & T	All areas	800-310-2355
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CABLE

Comcast	All areas	800-266-2278
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GARBAGE

Benicia	Pleasant Hill Bayshore	707-747-0618
Cordelia	Fairfield Utilities	707-428-7346
Davis	City of Davis	530-757-5686
Dixon	Dixon Sanitary	707-678-4026
Fairfield	Fairfield Utilities	707-428-7346
Green Valley/ Suisun /	Serv U Sanitary	707-422-4800
Napa	Upper Valley Disposal	707-963-7988
Suisun Valley		
Vacaville	Vacaville Sanitary	707-448-2945
Vallejo	Vallejo Garbage Service	707-552-3110

WATER

Benicia	City of Benicia	707-746-4225
Cordelia	Fairfield Utilities	707-428-7346
Davis	City of Davis	530-757-5686
Dixon	Dixon Sanitary	707-678-4026
Fairfield	Fairfield Utilities	707-428-7346
Green Valley / Suisun Valley	City of Vallejo	707 648-4345
Napa	City of Napa	707-257-9508
Suisun	City of Suisun	707-421-7325
Vacaville	City of Vacaville	707-449-5129
Vallejo	City of Vallejo	707-648-4345

Thank you for using Accurate Home Inspections